

**Townes of Moorefield Community Association (TOMCA)**  
**Guidelines for Architectural Control Committee (ACC)**

March 2011 Edition

With Revisions through October 2019

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## **Townes of Moorefield Community Association (TOMCA) Guidelines for Architectural Control Committee (ACC) INTRODUCTION**

The ACC is charged in the Declaration of Covenants, Conditions and Restrictions [hereinafter the “Declaration”] with the duty of preserving the aesthetic qualities and harmony of the community. [Declaration, Article VIII and Article X, Section 1] These Guidelines define the general area and nature of the ACC’s responsibility.

All of the standards prescribed in the Declaration and in these Guidelines are adopted for the purpose of (i) maintaining architectural harmony and quality, (ii) preserving a safe, healthy environment, and (iii) maintaining and/or enhancing property values. Where guidelines have their origin in either the Declaration or in the Vienna Town Code, the relevant sections of these documents have been noted. Consult the Vienna Town Code.

It is important to note these Guidelines apply to **all** occupants of the Townes of Moorefield, including renters. The property owner will make a copy of these Guidelines and the Declaration of Covenants, Conditions and Restrictions available to all renters.

### **1. Background Information**

#### **1.1. Approvals of exterior changes**

Each project by a homeowner to the exterior of their property must be specifically approved by the ACC. ACC approval is not required for normal upkeep and maintenance consistent with approved designs and/or colors.

#### **1.2. Town of Vienna and Fairfax County Permits**

Approval of a project by the ACC does not waive the necessity of obtaining the Town of Vienna and Fairfax County permits, as appropriate to the project.

**Neither does obtaining a permit waive the need for approval by the ACC.** The ACC will not knowingly approve a project that is in violation of the Town or County zoning/building codes.

#### **1.3. Questions to the ACC**

These Guidelines are not intended to be all-encompassing. Questions regarding interpretation of the Guidelines should be directed to the ACC and the Board. Homeowner requests for exterior changes that are not addressed in these Guidelines should be directed to the ACC and the Board.

## 2. Application Procedures for Making Architectural Changes

### 2.1. Application by ACC Form

Applications must be submitted using the ***TOMCA Application Form for Architectural Changes***. [See Appendix I for an example of this form.] Contact the Property Manager or refer to the Association website ([www.townesofmoorefield.com](http://www.townesofmoorefield.com)) for the current Application.

### 2.2. Send ACC Application to the Property Manager

The application must then be sent to the Property Manager. Information on where to send the form is listed on the Application Form itself. The Property Manager will confirm receipt, review the application for completeness, and pass it to the ACC for decision. The Property Manager will communicate the ACC's decision to the Homeowner.

### 2.3. ACC Application must include

Homeowners must include a complete description of the project sufficient for the ACC to thoroughly understand the proposed changes/improvement(s). Specific data should include, as appropriate, height, width, length, size, shape, color, and location of the proposed project. Photographs or sketches of similar completed projects would aid in the ACC's consideration. The application must include proposed construction materials (including manufacturer and samples) and proposed colors and finishes (including manufacturer and samples). If the improvement involves construction, the application must be accompanied by a color rendering of the plan and/or architectural drawings to scale, noting dimensions where applicable.

### 2.4. ACC Application for Color

TOMCA's initial color schemes were established by the original builder to foster a sense of harmony. **Due to the ever-changing pallet of colors available in the market, any proposed changes in** colors of siding, shutters, trim, or roof-shingles should be submitted to the ACC for review. Color chips must accompany the application.

### 2.5. Drainage approvals

If the alteration affects an existing drainage pattern, the proposed drainage pattern must be included in the application. **The effect on neighboring properties must be taken into consideration.** This principle may also apply to other changes being proposed.

### 2.6. ACC Application must be in writing

**The ACC will consider only written requests as outlined in these Guidelines.** Oral requests will not be considered. The Property Manager will confirm receipt of the written request. The ACC will answer a request as promptly as possible. If the ACC fails to make a decision, either with approval, disapproval or request for additional information, within thirty (30) days of the postmark or delivery to the Property Manager, the request is considered to

have been approved. The timeline may be extended as needed to clarify the request or to request and receive additional documentation.

**2.7. Changes to the Approved Application**

ACC approval applies only to the plans and requests as submitted. If the Homeowner changes the plans, a new ACC application must be submitted for approval.

**2.8. Expiration of Approved Applications**

Homeowner has one year from the date of approval to complete the work.

**2.9. If Request is rejected**

If a proposal is rejected by the ACC, the ACC is obligated to state the reason(s) for rejection. The applicant is free to resubmit the proposal to the ACC, presenting new or additional information that might clarify the request or show its acceptability.

**2.10. Board of Directors will make the final determination.**

A second rejection may be appealed to the TOMCA Board of Directors in writing. The decision of the Board will be final and binding.

**3. Annual Inspections** The Board will conduct Annual Inspections according to the following process

**3.1. The Property Manager will inspect the property.**

**3.2. The Board will review** and decide on which issue(s) will receive a First Letter of Notification of Needed Repair and Maintenance.

**3.3. First Letters of Notification of Needed Repair and Maintenance** will be sent to owners detailing the problem(s) and a deadline for the solution (usually 90 days, sometimes shorter if the issue is an easy fix such as improper storage).

**3.4. Properties are inspected again after deadlines.**

**3.5. Homes that have not been repaired will receive a reminder postcard** that work has not been completed and requesting homeowners contact the Property Manager with an update.

**3.6. Properties are inspected again after deadlines.**

**3.7. If the maintenance has not been completed, the Board will discuss and vote upon any additional actions** which may need to be taken in order to resolve the issue.

**3.8. Owners will be notified** of any additional actions planned by the Board.

## ARCHITECTURAL CONTROL STANDARDS AND GUIDELINES

### 4. Responsibilities of Occupants (Homeowners and Renters)

#### 4.1. Observe the Town of Vienna Codes and TOMCA Bylaws.

It is the responsibility of occupants (homeowners and renters) to observe the Town of Vienna Codes, as well as the governing documents of the Association by complying with the following guidelines and prohibitions. **Note: these guidelines apply to all occupants, including renters.**

#### 4.2. Properly maintain the property

It is the responsibility of homeowners and renters **to properly maintain** the exterior portions of the house and lot, to include wood, brick, stone, fences, shrubbery, lawns, walkways, parking pads, etc., as follows. “In the event that the need for exterior maintenance or repair of any unit is caused through the willful or negligent act of the Owner, his/her family or guests or invitees, at its option and sole discretion the Association may perform the maintenance or repair and the cost of such maintenance or repairs shall be added to and become a part of the assessment to which such lot is subject.” (Declaration, Article IX)

##### 4.2.1. General exterior appearance

will be maintained in good repair (e.g., trim, shutters, windows, gutters, downspouts, garage doors, roof shingles).

##### 4.2.2. Advertising

4.2.2.1. No form of advertising will be permitted on common areas unless authorized by the ACC.

4.2.2.2. “For Sale” realty signs are permitted on common areas only during the actual hours that an “open house” is being conducted. “For Sale” realty signs may remain on a Lot as long as the house is up for sale.

##### 4.2.3. Antennas

No exterior radio or television antennas shall be erected or permitted on any building or Lot or other parcel of The Properties.” (Declaration, Article X, Section 11) See Section 5.15, Satellite dishes/antennas.

##### 4.2.4. Barbecues and grills

are to be stored only in rear yards, on decks, or in garages, and used only in accordance with Fairfax County and Town of Vienna codes. Grills may be used in the front of units, but not stored there.

##### 4.2.5. Clotheslines and clothes-hanging devices

“No exterior clotheslines or clothes-hanging device shall be allowed on any lot.” (Declaration, Article 10, Section 7).

**4.2.6. Common Areas**

**4.2.6.1.** Residents may neither plant nor cut down trees that are outside their individual Lot, without the approval of the Board of Directors. (Declaration, Article X, Section 3.)

**4.2.6.2.** Homeowners or Renters who have suggestions, wishes, or concerns about the cutting down or the planting of trees, bushes, groundcover, or flower beds in any common areas of the Community, must complete the ***TOMCA Suggestion Form for Common Areas*** and submit the form to the Board. This form can be used for other ideas and concerns as well: drainage, erosion, foot paths, speed bumps, benches, signage, creeks, Community Building, Tennis Court, Pools, etc. [See Appendix II for an example of this form.]

**4.2.7. Damage to Common Areas and/or neighboring properties**

Homeowners or Renters are fully responsible for any damage to the common area or neighboring property caused by themselves, family, guests, and private individuals or contractors in their hire.

**4.2.8. Debris**

Properties will be kept free of debris.

**4.2.9. Drainage**

Surface drainage facilities and water spouts should not empty onto neighboring property, and must be kept in good condition. For special drainage needs, consultation with the ACC and Board is recommended.

Owners are not permitted to make any changes, alterations, or to encroach into the Common Area without the Association's express permission.

**4.2.10. Fences and gates**

must be maintained in good repair (e.g., no gates off their hinges, no broken boards, no leaning fences).

**4.2.11. Firewood**

A reasonable amount of firewood (20-30 sticks) may be stored on the front porch in a neat manner during the winter months (October-April).

**4.2.12. Flower boxes and pots**

are allowed. The style must be non-obtrusive; colors and material of the containers must be consistent with the home and the community.



**4.2.13. Garden ornaments**

A limited number of small garden ornaments in keeping with the style and character of the community are allowed in front and side yards. Such ornaments should be made of natural-looking materials and should be neither garishly painted nor obviously made of plastic.

**4.2.13.1.** Wind chimes and birdfeeders are prohibited in front and side yards.

**4.2.13.2.** The use of birdbaths is discouraged due to the health hazard created by standing/stagnant water.

**4.2.13.3.** The growing of fruits and vegetables in front and side yards is prohibited.

**4.2.14. Landscaping**

**4.2.14.1. Flowers, shrubs, trees** may be planted in homeowners' lots without ACC's prior approval as long as such planting does not and will not: interfere with underground utilities (the homeowner must contact "Virginia 811" at [www.va811.com](http://www.va811.com) or by dialing 811), infringe upon the rights of other homeowners, inhibit the safety and security of the adjacent homes and the neighborhood in general, and intrude upon or otherwise interfere with use of the sidewalks and pathways in front of or behind their homes.

**4.2.14.2.** No tree of a diameter of more than four inches measured two feet above ground level, lying without the approved building driveway and parking areas, shall be removed without the approval of the Architectural Control Committee. This requirement does not apply to trees which obstruct sight lines for vehicular traffic. (See Section 4.2.28)

**4.2.14.3. Lawns** will be well-kept with a uniform ground cover. To avoid an overgrown, unkempt look, grass should be no more than 4" high.

**4.2.15. Lighting**

No exterior direct lighting (spotlights, flood lights, and similar) shall be directed outside the boundaries of a Lot or be allowed to shine into the lots, patios, or fronts of neighboring homes. (Declaration, Article X, Section 4)

**4.2.16. Lot use**

No Lot shall be used except for **residential purposes or for professional offices** as approved and licensed by the governing authorities having jurisdiction over such usage. (Declaration, Article X, Section 2)

**4.2.17. Nuisances**

“No noxious or offensive activity” shall be carried on upon any portion of The Properties, nor shall anything be done thereon that may be or become a nuisance or annoyance to the neighborhood.” (Declaration, Article X, Section 4)

**4.2.18. Paint**

will be maintained in uniform and good repair (with no peeling, chipping, cracking, or stains on the trim and siding.) For guidelines on paint colors, see Section 2.4.

**4.2.19. Parking**

**4.2.19.1.** No vehicles other than those classified as passenger vehicles shall be regularly parked in residential areas. (Declaration, Article X, Section 13)

**4.2.19.2.** Units with garages shall use the garage “as the principal automobile parking spaces for that Lot.” (Declaration, Article V, Section 4 and Article X, Section 16) Units with parking pads shall use the pads as their principal automobile parking spaces.

**4.2.19.3.** In order to provide more parking spaces, automobiles must be parked in the common parking areas at angles to the curb, not parallel to the curb. The only exception to this rule is in the spaces across from the 1000 block of Moorefield Hill Grove, where automobiles must be parked parallel to the curb.

**4.2.19.4.** Guests should fill up the common parking spaces before parking on the streets.

**4.2.19.5.** Motorcycles are considered motor vehicles and must be parked in designated automobile parking areas.

**4.2.19.6.** “After ten days’ written notice to the Owner of any vehicle parked in violation of this covenant, the Association may remove such vehicle at the expense of the Owner.” (Declaration, Article X, Section 14)

**4.2.20. Personal property**

**4.2.20.1.** Baby carriages, grills, bicycles, toys, or other articles of personal property shall be stored or kept indoors, in garages, or in enclosed areas so as to not be visible from the street. The Association may impound all such articles and make a charge for their return. (Declaration, Article X, Section 15)

**4.2.21. Pets and other animals**

**4.2.21.1.** Fairfax County and Town of Vienna ordinances do not allow pets to roam unleashed or unattended in the neighborhood. (Vienna Town Code, Chapter 3, §3-6)

**4.2.21.2.** “No animals, livestock or poultry of any kind shall be raised, bred or kept on any Lot, except that dogs, cats and other household pets may be kept, provided that they are not raised, bred, or kept for any commercial purpose.”

(Declaration, Article X, Section 9)

**4.2.21.3.** Homeowners’ are responsible for any damage caused by their pets to common areas or neighboring properties. Owners are required to “scoop the poop” and fill any holes dug by their dog(s) when walking them in the community.

**4.2.22. Shrubs and Trees**

Dead shrubs and trees on an owner’s property must be removed. If the homeowner and/or renter fails to properly maintain the Lot (lawn and shrubbery), the Association shall have the right, if after twenty (20) days’ notice to the Owner of the Lot or Lots involved, to trim or prune, at the expense of the Owner, any hedge or other planting that in the opinion of the ACC is detrimental to adjoining property or is unattractive in appearance. (Declaration, Article X, Section 10)

**4.2.23. Signs**

No sign of any kind larger than one-foot square shall be displayed to the public view on any Lot, except temporary signs of not more than five (5) square feet advertising the said Lot for sale or rent or for announcing an official TOMCA activity. (Declaration, Article X, Section 8) There is a third exception for signage permitted by the Town of Vienna regulations regarding political elections. (See Town of Vienna web site, “Sign Permits.”) These regulations apply here in Townes of Moorefield.

**4.2.24. Speed limits**

Residents and visitors are required to limit their speed on TOMCA streets to 15 MPH for the protection of children and adults alike whose homes are virtually on the street.

**4.2.25. Trash and debris**

**4.2.25.1.** Trash, garbage, or other waste shall be kept only in sanitary containers. All equipment for the storage or disposal of such materials shall be kept in a clean and sanitary condition. No material or refuse or any container for the same shall be placed or stored in the front of any house. The Association shall have the right to impound any trash can or garbage receptacle that is placed in violation of this paragraph and to enter onto any Lot for this purpose. (Declaration, Article X, Section 12)

**4.2.25.2.** Trash bags and recycling bags and containers shall not be placed outside at the front of the Lot except after 6:00 PM on the evening before of the trash and recycling collection day. (Note: Town Code states items will be placed at the curb line

Exterior Work Requires ACC Approval

by 6:00 a.m. on the designated day). In no case are the wooded areas behind houses to be used for the dumping of lawn refuse, tree cuttings, leaves, construction material, pumpkins, Christmas trees, or any other matter.

**4.2.25.3.** Debris for special pickup must be placed on the homeowner's property or on a parking space, not placed on the grass.

**4.2.25.4.** TOMCA owners are urged to either hire construction contractors that remove debris while performing work on projects, utilize the Town of Vienna's heavy trash pickup service, or the services of junk removal companies before pursuing permission for space to park dumpsters because community parking areas with open spaces are very limited. The following guidelines for dumpsters parked on community spaces apply.

- The owner is renovating or vacating a townhome.
- The townhome has no parking pad. (Dumpsters are to be placed on parking pads when they exist).
- The dumpster will be no greater than 15 yards in capacity.
- The requested area for placement of a dumpster will not inhibit vehicular traffic or constrain availability of normally used parking spaces of other residents. This will be determined prior to permission granted or declined.
- The request for a dumpster on community parking space must be received by POA Management no less than 30 days prior to the desired placement date. Requests may be made via e-mail and sent to [lgilbert@sequoiamanagement.com](mailto:lgilbert@sequoiamanagement.com). Decisions of approval or disapproval will be provided to owners within 15 days of a request.
- Permitted dumpsters are removed no later than 30 days from the date of their placement on community parking spaces.

**4.2.26. Utility supply and transmission lines**

Burying of Utility lines in Common Area - Homeowners are responsible for advising the utilities that all utility supply and transmission lines (cables, wires, pipes, conduits), especially those coming in through their back yards, are not to be left exposed in the common areas behind their Lots, but are to be "placed underground or undersurface." (Vienna Town Code §18-54, and §18-172.1)

**4.2.27. Vehicle repair**

**4.2.27.1.** No portion of the Properties shall be used for the commercial repair of automobiles per Vienna Town Code. (Chapter 18-87.1.A.2)

- 4.2.27.2. Major repair of personal vehicles outside of a garage is prohibited.
- 4.2.27.3. Incidental work of a short-term nature outside of a garage is permitted.
- 4.2.27.4. All vehicles owned by TOMCA residents and parked in the community must have valid registrations where applicable.

**4.2.28. Visibility of vehicular traffic**

No fence, wall, tree, hedge or shrub planting shall be maintained so that the **visibility of vehicular traffic** is obstructed.

**4.2.29. Walkways, driveways, and parking pads**

must be kept in good repair. Section 5.21 provides guidelines for replacement of walkways.

**5. Construction and Exterior Work: Exterior Projects Require ACC Approval**

In general, each project to the exterior of the house must be approved by the ACC. Specifically, “No building, structure, alteration, addition or improvement affecting the external appearance of a building or structure shall be constructed upon any portion of the Properties unless and until a plan of such construction shall have been approved by the Architectural Control Committee of said Association as to quality of workmanship and materials, harmony of external design with surrounding structures, location with respect to topography and finished grade elevation, the effect of the construction on the outlook from surrounding property and all other factors which will in their opinion affect the desirability or suitability of the construction. No construction shall be commenced and lot graded except in accord with such approved plan or a modification thereof similarly approved.” (Declaration, Article X, Section 1)

**5.1. Attic Fans**

Any attic fans must be mounted on the rear roof of the house, not extend above the peak of the roof, and not extend higher than 24” above the roof surface.

**5.2. Awnings**

5.2.1. With ACC approval, retractable awnings may, be installed over decks and patios, and must be kept in good repair and rolled up when not in use.

5.2.2. Awning colors should complement house siding and/or trim.

5.2.3. Installation of aluminum, non-retractable awnings is not permitted.

**5.3. Chimneys**

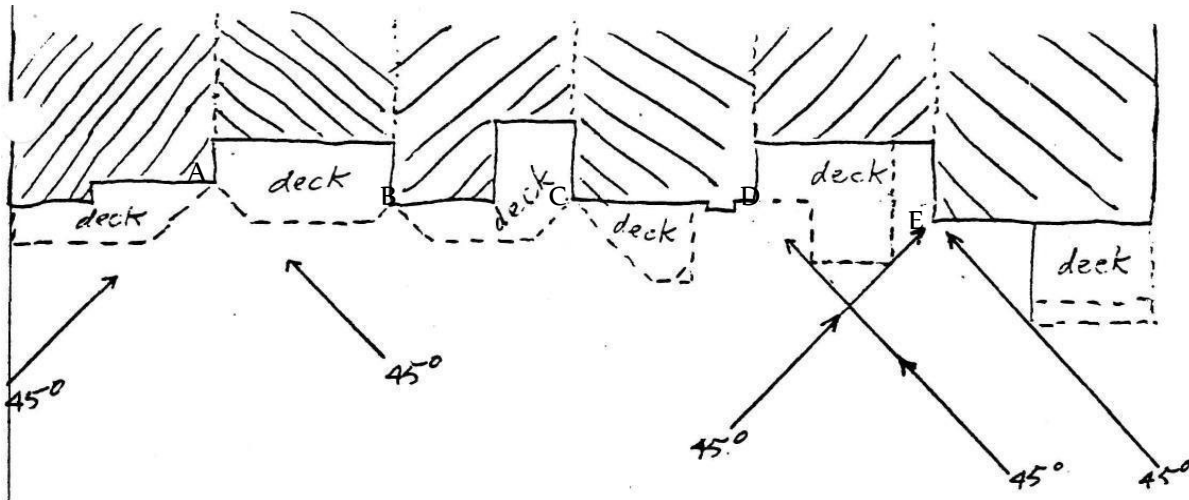
5.3.1. Additional chimneys will be considered for approval provided they are constructed of matching (to original) brick masonry on the exterior of a house (i.e., front or rear on interior houses: or front, rear, or exposed side of an end unit).

5.3.2. Chimneys constructed of pipe are not permitted.

5.3.3. Vent piping for gas is permitted.

**5.4. Decks**

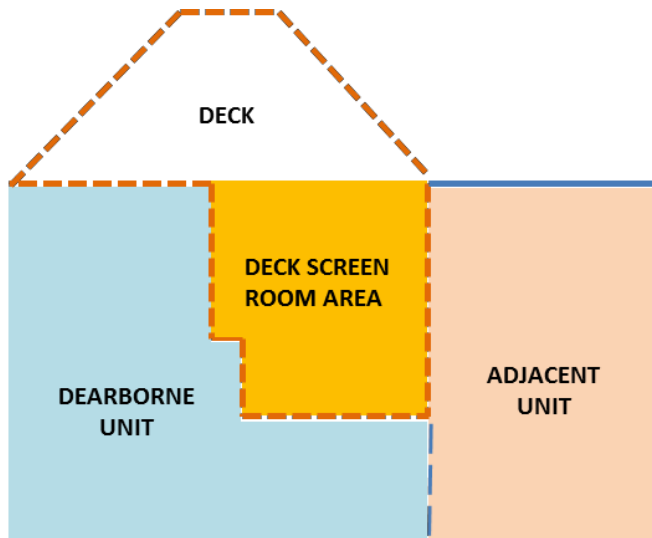
- 5.4.1. Constructing a deck requires both Fairfax County and Town of Vienna building permits.** Decks may be constructed on the ground-level floor of all townhouses and off the second story of three-level townhouses with approval of the ACC. Elevated desks must meet the following conditions and guidelines:
- 5.4.2.** Must be made of pressure-treated pine or synthetic materials such as Trex®, etc., and the railing slats must be vertical. Decks may not be painted, but may be stained a natural wood color.
- 5.4.3.** Must not extend beyond the two imaginary 45 degree lines extending from the furthest protruding corner of the common wall between any two units.
- 5.4.4.** Must not extend more than 10 feet beyond the rear-most exterior wall of the unit or the adjoining units.
- 5.4.5.** Stairs may be installed from the deck to the ground and must be made of the same material as the deck.
- 5.4.6.** Doorway access from the deck level is permitted and must be consistent with the architectural character of the community, and may include French doors with mullions or sliding glass doors with or without mullions.
- 5.4.7.** Items such as chairs, tables, sun umbrellas, flower pots & boxes, and grills may be kept on the deck. However, storage of other items, e.g. bicycles, exercise equipment, machinery, and workbenches, will not be allowed.
- 5.4.8.** Decks may not be built on the sides of end unit townhouses.
- 5.4.9.** Designs for decks. This example shows a few of the possible designs for decks which meet TOMCA criteria. Each deck stays within a 45 degree line extending from the corners of the party walls. Corners A, B, C, D, and E on the diagram below are such corners. This guideline is meant to maximize privacy, minimize shading of neighbors' property, and create aesthetic harmony with each individual unit.



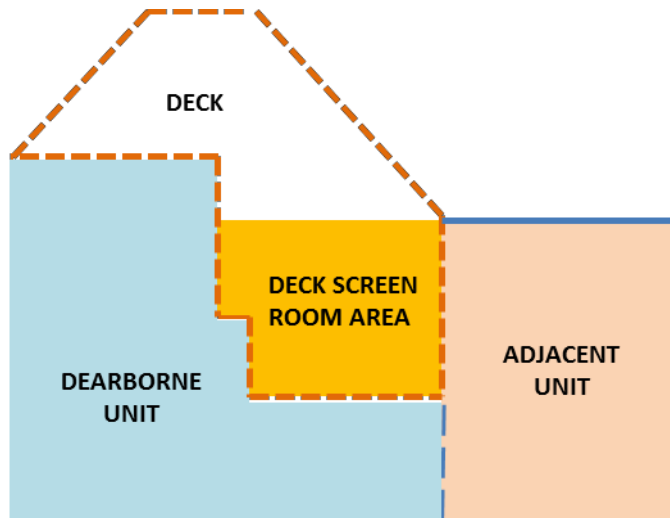
**5.5. Deck Screen Room**

As a general rule, any areas of decks may not be screened in. However, it is permissible if a townhome is a Dearborne model and the adjacent townhome is positioned correctly. The space of the deck within the footprint of the Dearborne and the adjacent townhome may then be enclosed with a screen wall and covered with a roof, subject to the following conditions:

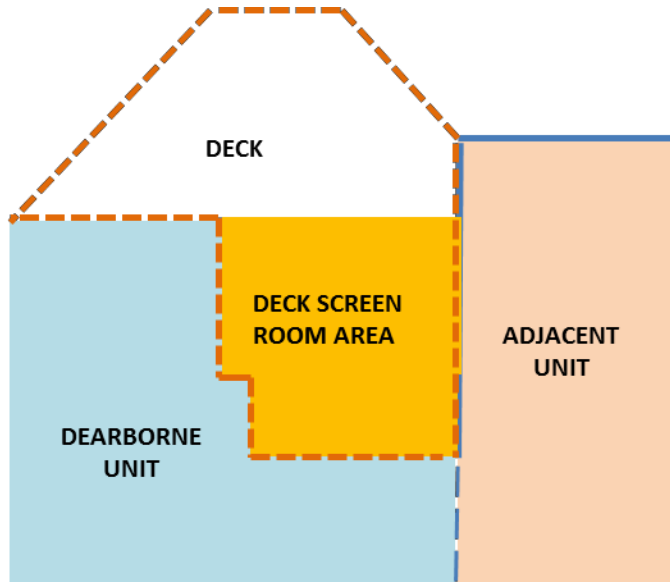
**5.5.1. The Dearborne and the adjacent townhome back walls line up with one another:** The screen wall must be built to be flush with the back walls of owner's Dearborne unit and the adjacent townhome. (See diagram below.)



**5.5.2. The Dearborne back wall is forward of the adjacent townhome back wall:** The screen wall must be built flush with the back wall of the adjacent unit. (See diagram below.)



- 5.5.3. The Dearborne back wall is behind the adjacent townhome back wall:** The screen wall must be built flush with the back wall of the owner's Dearborne unit. (See diagram below.)



- 5.5.4.** Screen wall height must be 8 feet with a standard wood screen door installed.
- 5.5.5.** Screen wall construction materials are to be lumber 4x4 roof supports, (2) 2x10 box beam header, 2x2 structural pickets, 2x4 structural rail runners, 1x4 rail rap, and 1x4 base trim.
- 5.5.6.** Screen material is to be fiberglass or aluminum and gray in color.
- 5.5.7.** Exposed interior wood finishes may be either stained or painted.
- 5.5.8.** Exposed exterior wood finishes must be stained the same as the deck or may be painted to match the color of the exterior house trim.
- 5.5.9.** Roof construction is to be lumber 2x10 rafters on 24" centers with roof pitch and roofing material identical to the main roof.
- 5.5.10.** Interior ceiling must be bead board with open rafters.
- 5.5.11.** Gutter and downspout are required and must match those already on the house and painted same color as house trim.
- 5.5.12.** All rules about construction permissions (Fairfax County and Town of Vienna), including materials, colors, and quality of workmanship, must be followed.
- 5.5.13.** All applicable building permits must have been acquired after ACC approval and prior to construction.

## **5.6. Driveways and Parking Pads**

Driveways and parking pads may be constructed of un-tinted, poured concrete; un-tinted, poured, stamped concrete; or un-tinted concrete pavers (permeable or non-permeable).



## 5.7. Doors and Windows

- 5.7.1. Front doors and garage doors can be various styles and colors that complement the house and trim colors and that are in harmony with the neighborhood. ACC approval is required for color and style changes.
- 5.7.2. Storm Doors shall be a color that complements house and trim colors. Full-view storm doors are encouraged when adding or replacing storm doors.
- 5.7.3. Window designs shall be consistent with the architectural character of the community. They may include double hung or crank out casement windows, but all windows must have dividing mullions in keeping with existing style.
- Temporary exterior plastic or aluminum foil storm windows are not permitted.
  - Alterations to the existing bay window design or adding additional windows may be permitted. New windows should be of similar design and size and should complement the existing structure.
- 5.7.4. Construction of window wells will be considered provided they do not extend above grade level, are covered, and are landscaped.

## 5.8. End-Unit Overhangs

Owners of end units may build front door overhangs **after detailed architectural plans** have been approved by the ACC, and any necessary Fairfax County and Town of Vienna building permits have been acquired. The overhang must be consistent in style and materials with the house, e.g., shingles must match existing roof shingles, and the supporting structure(s) must be in harmony with the house. Overall harmony with the neighborhood is likewise important.

## 5.9. Exterior Colors

- 5.9.1. If the colors of a townhouse and trim are of the current Color Scheme, such painting is considered “maintenance” and does not require approval of the ACC.
- 5.9.2. If the homeowner is requesting a color change that is different from the current Color Scheme, color samples must be submitted with the application for ACC review and approval or disapproval. The requested color must be in harmony with the neighborhood.
- 5.9.3. Brick and masonry surfaces may not be painted.

## 5.10. Fences

- 5.10.1. "No fence or wall of any kind shall be erected, begun or permitted to remain upon any portion of The Properties unless shown on the deed-of-dedication plat or unless approved by the ACC."  
(Declaration, Article X, Section 6)
- 5.10.2. Fences must be six feet in height (exception: end units with brick pillars may maintain fence at same height as pillars).
- 5.10.3. Fences must be constructed of natural or pressure-treated lumber.
- 5.10.4. Fences must follow the contour of the land.
- 5.10.5. Visible gate hardware must be black iron.

- 5.10.6.** The only approved fence design is a shadow-box design using fence boards that are 1" x 6" wide and have 6" wide flat tops or be in a dog-ear design. Fence boards must be 6' in height. In a shadow-box design, boards are placed behind and in front of each on opposite sides of the rails, creating an almost full privacy effect, but allows for air flow with this spacing.
- 5.10.7.** Gates must be constructed of the same materials and be of the same height and color as the fence.
- 5.10.8.** Fence posts must have plain black caps.
- 5.10.9.** Fences must have three horizontal support rails.
- 5.10.10.**  
Fences may have a clear coat sealant for preservation. No stains or paints are approved.
- 5.10.11.**  
All fences must be within the established Lot property boundaries.
- 5.10.12.**  
Maintenance of the fence dividing neighboring backyards is the responsibility of both affected homeowners to determine and is not an HOA matter unless it is in disrepair.



**Horizontal cap board. Fence rails. Fence post. Fence board.**

## 5.11. Garages

- 5.11.1. Owners of end units without garages may add a garage after ACC approval. Garages require building permits and must meet the set-back and other building requirements of the Town of Vienna and Fairfax County.
- 5.11.2. If the requirements of 5.11.1 are met, owners of interior units may add a 2 car garage:
- If there is no garage on either side of the property and is built to abut the property line on one side, leaving their own entry way open on the other side; or
  - If it would not result in eliminating the front door so that the only entry to the home is through the garage; and if it abuts a neighbor's garage on one side and allows at least two sidewalks' width between it and the contiguous neighbor's entryway on the other side. It is recognized that this latter condition prevents some interior townhouses from having garages.
- 5.11.3. Styles and materials must be consistent with the house itself, including brick, siding, trim and shingles, and with existing garages in the community.
- 5.11.4. Owners of units with flat-roofed garages may change to peak-roofs after approval of the ACC and acquiring Town of Vienna and Fairfax County building permits, with the same requirements of style and materials as existing peaked-roof garages. The ACC decision will depend in part on a consideration of the possible negative effects on the neighbors.

## 5.12. Interior Unit Entryway Enclosures

As a general rule, entryways and porches may not be enclosed. However, if a garage already encloses half the entryway (which is possible on only a few units), a storm door and supporting frame may be installed to enclose the entryway. All rules about construction permissions (Fairfax County and Town of Vienna), materials, colors, and quality of workmanship must be followed. Installation can happen only **after detailed architectural plans** have been approved by the ACC.

## 5.13. Lighting

Replacement entry front lamps must be in harmony with the community. New lamp post fixtures, sidewalk, or garage lighting is allowed to increase personal safety, but must comply with provisions stated in Section 4.2.15.

## 5.14. Roof Shingles and Ridge Vents

- 5.14.1. Shingles need to be approved by the "TOMCA Application for Architectural Change.
- 5.14.2. Roof ridge vents must be the same color as existing roof shingles.

**5.15. Satellite Dishes/Antennas**

Satellite dishes/antennas are not to exceed 4 feet in diameter, may be erected on decks, in backyards, or on rear roofs but must not protrude above the peak of the roof. They must not be mounted on any common fence between properties, as a courtesy to neighbors.

**5.16. Shutters**

Units are allowed to add shutters in a color that complements the unit's color scheme and are of a design similar to the original shutters within the community. ACC must approve the colors of the shutters.

**5.17. Skylights**

Skylights may be installed that are of a style/type that minimizes extension above the roof surface and when closed are reasonably unobtrusive.

**5.18. Solar Panels**

Solar panels may be erected on roof-tops or in enclosed rear yards so that they are reasonably unobtrusive. If erected on pitched roofs, they must not extend more than 12 inches above the roof and in no case higher than the roof ridge. If erected on top of flat garage roofs, they must not be visible from the street. If erected in rear yards, they may not be higher than the fence.

**5.19. Sun Tunnels** (also known as sun pipes, sun tubes, sky tubes, solar light tubes and light tunnels) are allowed in the Townes of Moorefield with the following restrictions: No more than two are allowed on the front of the roof and no more than two are allowed on the back. Each sun tunnel may be no more than 14 inches in diameter.

**5.20. Tool/Storage Shed**

Sheds that are physically installed against the rear of the unit, not adjacent to a fence line, may not exceed 7.5 feet. Sheds that are adjacent to rear or side fence lines may not exceed 6 feet. The shed may not exceed 64 square feet. Commercially available tool sheds from home supply or other outlets will be considered.

**5.21. Walkways**

Walkways, with ACC approval, may be replaced with a variety of styles and materials such as flagstone, slate, tile, brick or cement that complement the house and are in harmony with the neighborhood.

## **ROLES AND RESPONSIBILITIES**

### **6. Town of Vienna:**

- 6.1.** “In the event that the Association, within sixty (60) days after receipt of written notice from the Town Council of Vienna, Virginia, of a default or other breach of obligations contained herein, fails to remedy such default or breach, or in the event the Association shall fail to properly maintain the common areas, then the Town of Vienna...shall, acting by and through its appropriate officials, be empowered to exercise the authority vested in the Association to enforce these covenants and may exercise such authority against any and all owners as it deems prudent in accordance with the terms of the Declaration.” (Declaration, Article XI, Section 1.)
- 6.2.** Following appropriate Association and Town of Vienna notifications to an owner to cut grass weeds or other foreign growth, [the Town of Vienna shall] exercise the authority to cut such growth, if such action has not been taken by the Association, and bill to the owner the cost, adding a lien on the property if the bill is not paid. (Town of Vienna Code, Chapter 13, §13-7 through§13-10)

### **7. TOMCA Board of Directors shall:**

- 7.1.** “...cause the exterior of the dwellings to be maintained pursuant to Article IX of the Declaration of Covenants, Conditions and Restrictions.” (By-Laws, Article VII, Section 2 (i))
- 7.2.** exercise “...the right to enforce by any proceeding at law or inequity, all restrictions, conditions, covenants, reservations, liens and charges now or hereafter imposed by the provisions of this Declaration. Failure by the Association or by any Owner to enforce any covenant or restriction herein contained shall in no event be deemed a waiver of the right to do so thereafter.” (Declaration, Article XI, Section 1)
- 7.3.** exercise the right “...if after twenty (20) days’ notice to the Owner of the Lot or Lots involved, to trim or prune, at the expense of the Owner, any hedge or other planting that in the opinion of the ACC is detrimental to adjoining property or is unattractive in appearance. The Association will set forth the action intended to be taken, if such action has not been taken by the owner.” (Declaration, Article X, Section 10)
- 7.4.** “...appoint an Architectural Control Committee, as provided in the Declaration of Covenants, Conditions and Restrictions....” (By-Laws, Article IX, Section 1; Declaration, Article VIII)
- 7.5.** support the ACC as necessary in the performance of its duties.
- 7.6.** serve as a Board of Appeals to review, request more information, and approve or disapprove homeowner’s projects which were twice denied approval by the ACC. The Board’s decision will be final. See Section II of these Guidelines.

- 7.7. review, approve, or disapprove proposed modifications and amendments to these Guidelines.
- 7.8. Upon sale of a townhouse, the President of the Board, in consultation with the Property Manager, shall certify that any changes that were made to the exterior of the townhouse have or have not received ACC approval.

**8. TOMCA Architectural Control Committee shall:**

- 8.1. review and carefully consider applications from Homeowners for improvements to their homes and property, in accordance with these Guidelines.
- 8.2. provide advice and guidance to Homeowners who wish to undertake projects and may need assistance in understanding these Guidelines, in preparing their applications, in selecting materials and colors, or in planning related aspects of their proposed projects.
- 8.3. "...receive complaints from members [of the community] on any matter involving Association functions, duties, and activities within its field of responsibility. It shall dispose of such complaints as it deems appropriate or refer them to such other committee, director, or officer of the Association as is further concerned with the matter presented." (By-Laws, Article IX, Section 2)
- 8.4. refer issues to the Board of Directors for their attention and resolution.
- 8.5. keep the Board of Directors apprised of actions taken, including submitting a monthly report to the Board.
- 8.6. periodically review and recommend updates to these Guidelines as necessary for the Board's review and approval.
- 8.7. in coordination with the Property Manager, maintain files of ACC approvals or disapprovals for each home in the community.

**Application Form for Architectural Changes**

Homeowner Name(s): \_\_\_\_\_ Date: \_\_\_\_\_

TOMCA Property Address: \_\_\_\_\_ Lot # \_\_\_\_\_

E-mail Address: \_\_\_\_\_

Day Phone: \_\_\_\_\_ Cell Phone: \_\_\_\_\_

**INSTRUCTIONS TO APPLICANT:**

1. Consult the TOMCA Architectural Guidelines (March 2011 edition with revisions through October 2019) for specific submittal requirements for each proposed change.
2. Submit application form, drawings, measurements, samples and other required documents to:

Townes of Moorefield CA/ACC Application  
 c/o Sequoia Management Co. Inc.  
 13998 Parkeast Cir.  
 Chantilly, VA 20151

Or e-mail to: [lgilbert@sequoiamgmt.com](mailto:lgilbert@sequoiamgmt.com)  
 or Fax to: (703) 968-0936 (if application includes photos or color brochures, these will not be legible via fax.  
 Phone (703) 803-9641

**PLEASE NOTE: Application material submitted by e-mail must be combined into a single PDF document. Please do not include additional information in the body of the email correspondence.**

3. Certain exterior changes, such as the installation of new fences and movement of existing fences, will require a house location (plat) survey indicating the location of the proposed changes.
4. **All ground level patio, deck, and hardscape applications should describe in detail how drainage will be maintained and how downspout water runoff will be directed. Include description of pipe and drainage bed if applicable.**
5. Read and sign the section entitled Homeowner Responsibilities.

**Exterior Changes to Property Requested:** (Please submit a separate request for each element).

	Roof related, including but not limited to shingles, ridge vents, attic fans		Chimney related		Decks, any level, including deck enclosures (as allowed on certain models per guidelines)
	Doors, exterior, all types, removal, replacement, painting		Driveways/parking pads		Fencing
	Garage, all related elements		Gutters & Downspouts		Landscaping
	Lighting & Fixtures, exterior		Shed, new replacement		Shutters, removal, replacement, painting
	Sidewalks, Steps & Porches		Siding		Skylights & Solar Panels
	Trim, all exterior		Railings		Windows
	Front Railing				
	Drainage & Erosion		Patios		
	Other:				

**Describe Proposed Changes (attach additional sheets if needed):**

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Estimated Start Date: \_\_\_\_\_ Estimated Completion Date: \_\_\_\_\_  
(Allow up to 30 days for AAC approval prior to start date)

**Homeowner Agreement:**

1. I agree that compliance with Townes of Moorefield Community Association (TOMCA) Covenants and ACC Guidelines and approval by the TOMCA Architectural Control Committee (ACC) do not constitute compliance with Fairfax County and/or Town of Vienna building and zoning codes and that ACC approval will not be constituted as a waiver or modification of any code restriction.
2. I agree that work will not be started until written approval of the ACC has been received by me, and that if changes are made without approval, I will be required to return the property to its former condition at my own expense and pay full legal fees incurred if this application is disapproved.
3. I agree that the authority granted to make the proposed changes will be revoked automatically if the changes requested have not commenced within 180 days of the approval date and completed by 180 days thereafter.
4. I agree to repair/restore any common area property that I or my agent/contractor may damage during the completion of this modification/project for which I am applying.
5. I agree that I or my agent/contractor will properly dispose of, off-site, any construction debris generated by this modification/project, including any construction debris not picked up by the Town of Vienna.
6. **I will assume all liability for the work performed, and agree to indemnify and hold the Association, its Board and managing agents, as well as the ACC, harmless for any damage and/or subsequent drainage or erosion issues suffered or incurred as a result of this modification/project, to adjacent properties.**

I have read and understand the above.

**Homeowner's Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Helpful Checklist for Homeowner:**

- \_\_\_\_\_ I have consulted the most recent edition of the ACC Guidelines.
- \_\_\_\_\_ I have included a detailed description of the proposed changes.
- \_\_\_\_\_ I have included a detailed drawing of the proposed changes.
- \_\_\_\_\_ I have included paint chips, brochures, or whatever is necessary for the ACC's review.
- \_\_\_\_\_ I have included a plat survey for all structural changes.
- \_\_\_\_\_ I have read and signed the application.

**FOR COMMITTEE USE ONLY:**

**ACTION:** APPROVED \_\_\_\_\_ DENIED \_\_\_\_\_ CONDITIONS \_\_\_\_\_



# TOMCA Application Form for Common Area Suggestions:

Suggestions could include:

- \* Tree, Bush, Ground Cover, Flower plantings in common areas
- \* Amenities like benches, or Night lighting
- \* Street sign or Speed bump or other security items
- \* Anything that might improve the quality and life here in Townes of Moorefield

TOMCA encourages homeowners to consider how to make our Common Areas more attractive and secure for our common life here. We all have our part to do in caring for the plants, trees, and grass in the common areas. Well-kept grounds makes the community an attractive place to live, helps protect our property values, and enhances the appeal of our development to prospective buyers. However, on occasion the location, type, or size of certain trees/bushes has created problems for our community. Over the years we have also had other issues in common life, like noisy night life, and speeding cars around children.

If you would like to plant something in a common area, or have something changed, or make *any other suggestion* for a common area, PLEASE DESCRIBE THAT BELOW: **the location, the type and eventual size of the tree, bush, ground cover, or other planting** you would like to plant, *or have planted*, or the nature of any other suggestion.

Homeowner/Renter Name(s): \_\_\_\_\_ Date: \_\_\_\_\_

E-mail Address: \_\_\_\_\_ Tel: \_\_\_\_\_

TOMCA Address \_\_\_\_\_

**The LOCATION:** \_\_\_\_\_

**The Item** (give as much detail as possible; attach documentation if helpful)

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Would you do the work, if this is approved or do you make this suggestion for our common budget?

Submit application form, drawings, measurements, samples and other documents to:

Townes of Moorefield CA  
c/o Sequoia Management Co.  
13998 Parkeast Cir.  
Chantilly, VA 20151  
Phone (703) 803-9641

or e-mail to: [lgilbert@sequoiamgmt.com](mailto:lgilbert@sequoiamgmt.com)  
or Fax to: (703) 968-0936 (if application includes photos or color brochures, these will not be legible via fax.)

**FOR BOARD USE ONLY:**

**ACTION:** APPROVED \_\_\_\_\_ DENIED \_\_\_\_\_ CONDITIONS \_\_\_\_\_

# TOWNHES OF MOOREFIELD

## ADAMS

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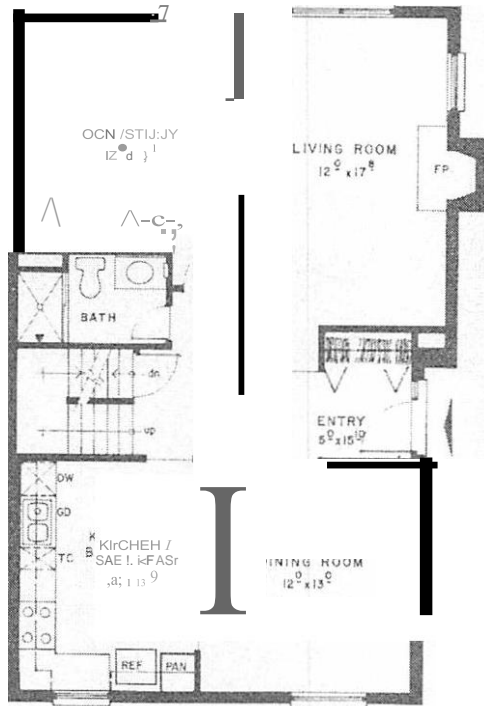
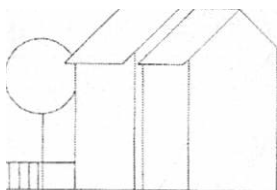
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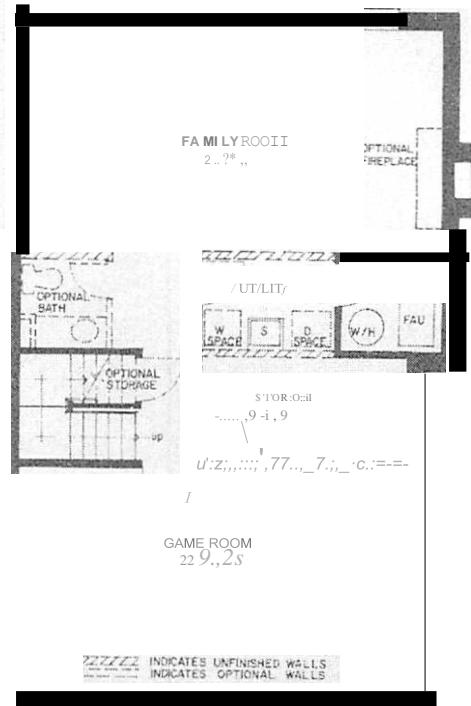
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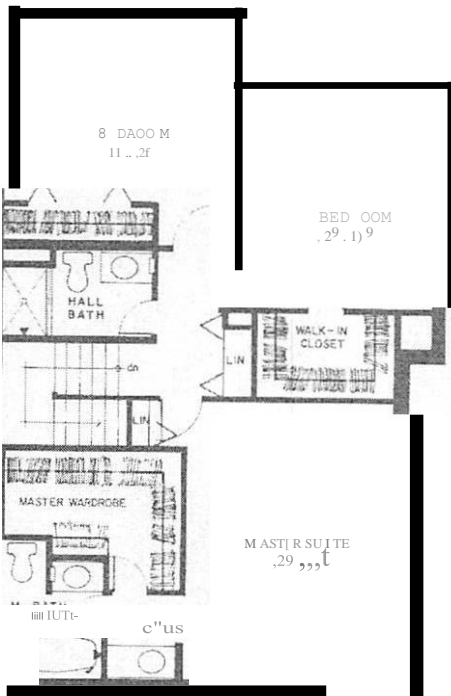
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A 1st FLR.



A BASEMENT



A 2nd FLA.

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# TOWNHOMES OF MCDREFFELD

## BARRETT

A Community planned for easy maintenance. Fully landscaped lots and park areas. with on-site parking.

Outdoor recreation features for children separately fenced and complete with playground equipment.

Strolling paths and connecting walkways to all recreational areas.

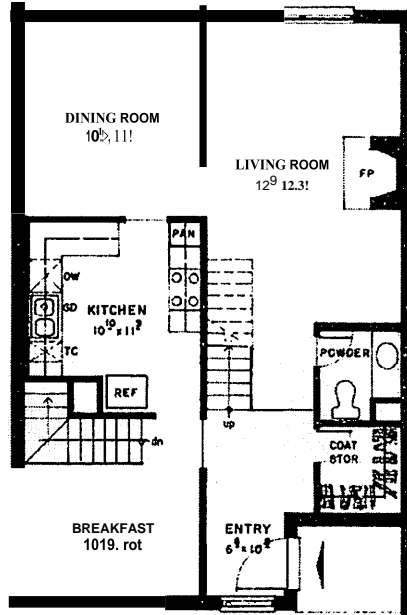
Community swimming pool with diving area, large circular wading pool for children and spacious sun bathing patio.

Community center of Traditional design contains kitchen, large area for entertaining, office and equipment room.

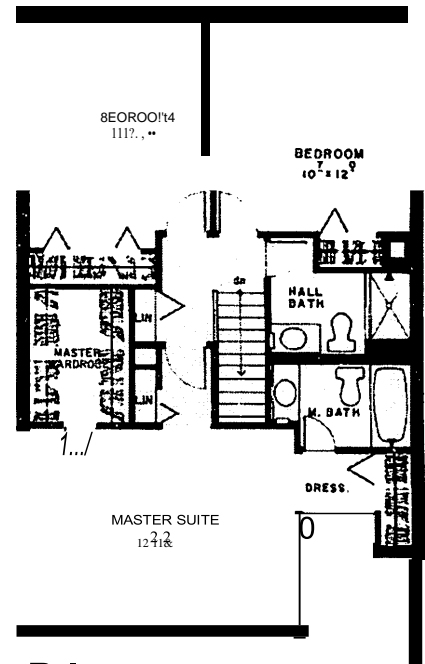
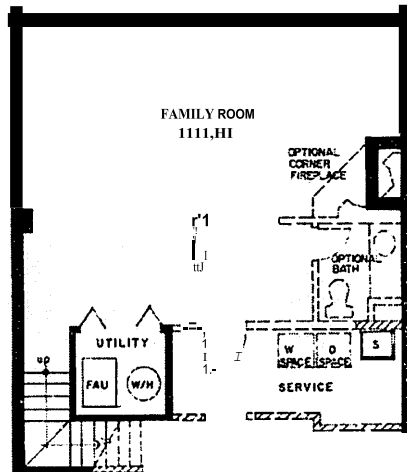
All public park and recreational areas are completely maintained.

Extra Value Features of Townes of Moorefield  
 Three bedroom Townhouses constructed of brick or stone. Ten distinctive floor plans available Every home with a fireplace. All utilities underground.

1. Electric central heating & cooling
2. GE self-cleaning oven with exterior exhaust
3. GE 16 cu. ft. frost free refrigerator with ice maker
4. GE trash compactor
5. 120 Gallon electric hot water heater
6. GE disposal & dishwasher
7. 3 Station Nutone Intercom system
8. Wall to wall carpeting
9. Rough in for washer & dryer
10. Master TV antenna in every home



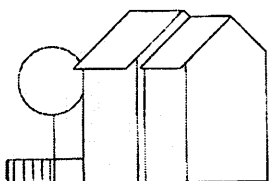
B-1 pt FLR.



B-1 2fld FLR.



B-1 BASEMENT



**Credits:** Moorefield Enterprises  
 Deluca Enterprises, General Partner  
**Architect:** Walter D. Neale Associates  
**Construction Financing:**  
 Arlington Trust Company  
**Permanent Financing:**  
 8, H. Mand L. Inc.  
**Sales by:** Ross Keith Realty, Inc.  
 6540 Arlington Blvd.  
 Falls Church, Va. 22042  
 (703) 533-9600 or  
 Townes of Moorefield Office  
 (703) 281-1440

# TOWNHOMES OF MCDREFELD

## BURKE

A Community planned for easy maintenance.

Fully landscaped lots and park areas, with on-site parking.

Outdoor recreation features for children separately fenced and complete with playground equipment.

Strolling paths and connecting walkways to all recreational areas.

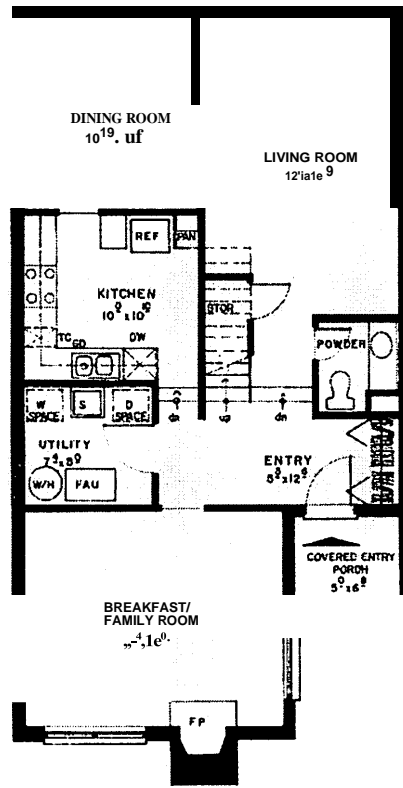
Community swimming pool with diving area, large circular wading pool for children and spacious sun bathing patio.

Community center of Traditional design contains kitchen, large area for entertaining, office and equipment room.

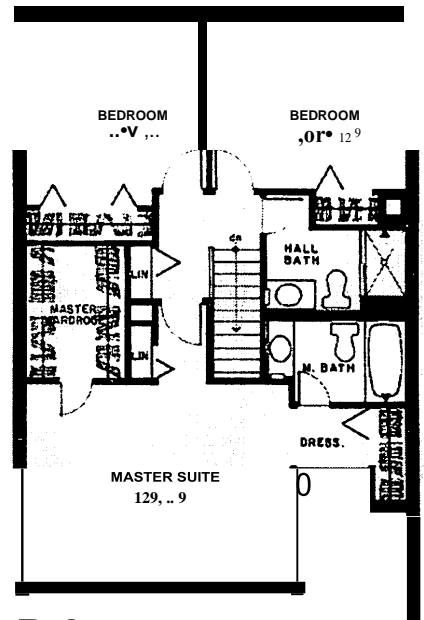
All public park and recreational areas are completely maintained.

Extra Value Features of Townhomes of Moorefield Three bedroom Townhomes constructed of brick or stone. Ten distinctive floor plans available. Every home with a fireplace. 11 utilities underground

1. Electric central heating & cooling
2. GE self-cleaning oven with exterior exhaust
3. GE 16 cu. ft. frost free refrigerator with ice maker
4. GE trash compactor
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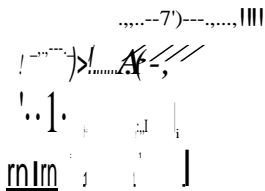
B-2 19' FLR.



B-2 2nd FLR.



8-2 2nd FLR.



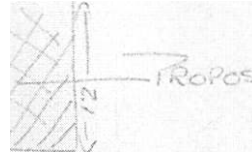
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 Deluca Enterprises General Partner  
 Architect: Waiter D. Neale Associates  
 Construction Financing:  
 Arlington Trust Company  
 Permanent Financing:  
 B. H. Mard L. Inc.  
 Sales by: Ross Keith Realty, Inc  
 6540 Arlington Blvd  
 Falls Church, Va 22042  
 (703) 533-9600 or  
 Townes of Moorefield Offices  
 (703) 281-1440

# TOWNHOMES OF MCOREFELD

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EXISTING



## CARLISLE

A Community planned for easy maintenance.

Fully landscaped lots and park areas, with on-site parking

Outdoor recreation features for children separately fenced and complete with playground equipment

Strolling paths and connecting walkways throughout all recreational areas

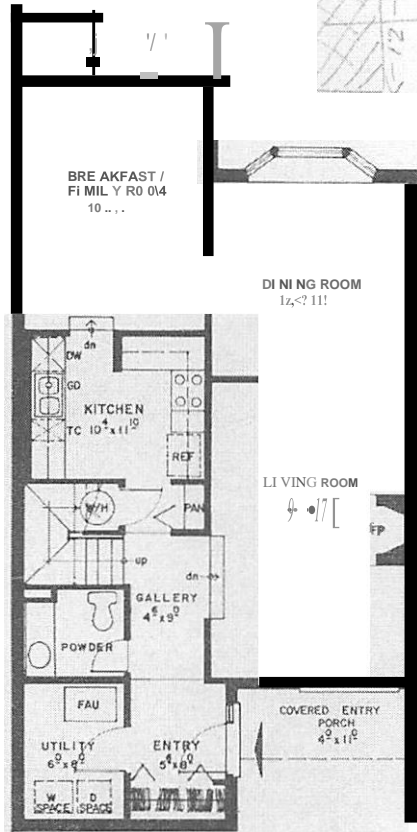
Community swimming pool with diving area large circular wading pool for children and spacious sunbathing patio

Community center of Townhomes design contains kitchen, large area for entertaining office and equipment room

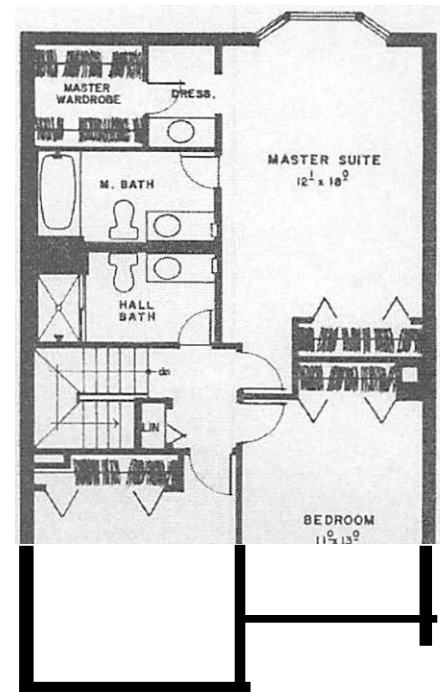
All public park and recreational areas are completely maintained

Extra Value Features of Townhomes of Moorfield  
Three bedroom Townhomes constructed of brick/stone. Ten different floor plans available [very home with fireplace] All utilities underground

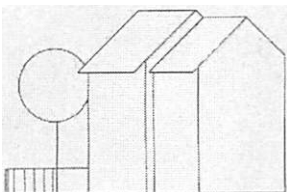
- 1 Electric central heating & cooling
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- 5. 120 Gallon electric hot water heater
- 6 GE disposal & dishwasher
- 7 3 Station Nutone Intercom system
- 8 Wall to wall carpeting
- 9 Rough in for washer & dryer
- 10 Master TV antenna in every home



C-2 1st FLR.



C-2 2nd FLR.



Creators: Moorefield Enterprises  
 Deluca Enterprises, General Penner  
 Architect: Walter D Neale Associates  
 Construction Financing:  
 Arlington Trust Company  
 Permanent Financing:  
 H M and L, Inc.  
 Sales by: Ross Keith Realty Inc.  
 5540 Arlington Blvd.  
 Falls Church Va 22042  
 (703) 533 9600 or  
 Townhomes of Moorfield Office  
 (703) 281-14 0



# TOWNES OF MOOREFIELD

## CONCORD

A Community planned for easy maintenance!

Fully landscaped lots and parking areas. with on-site parking

Outdoor recreation features for children separately fenced and complete with playground equipment

Strolling paths and connecting walkways to all recreational areas.

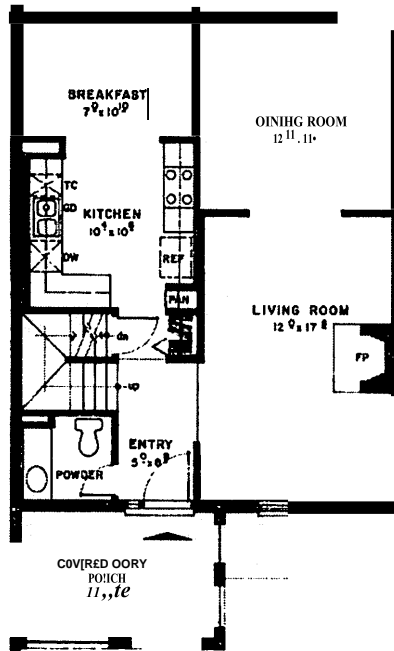
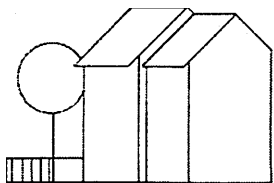
Community swimming pool with diving area, large circular wading pool for children and spacious sun bathing area.

Community center or Traditional design contains kitchen, large area for entertaining, office and equipment room

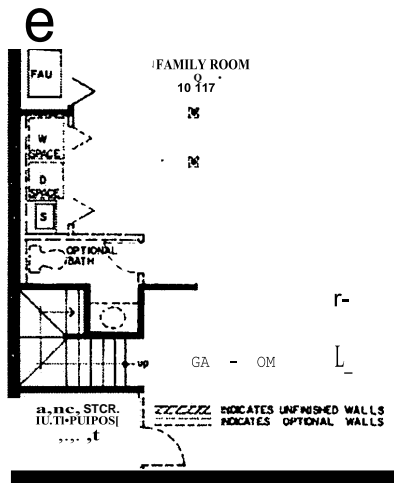
All public park and recreational areas are completely maintained

Extra Value Features of Townes of Moorefield  
Three bedroom Townhouses constructed of brick or stone Ten distinctive floor plans available. Every home with a fireplace. All utilities underground

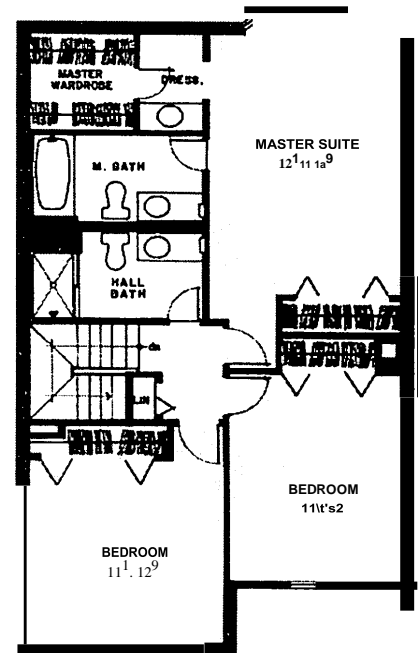
- Electric central heating & cooling
- 2 GE S-311-cleaning oven with exterior exhaust
- 3 GE 16 cu. ft. frost free refrigerator with ice maker
- 4 GE trash compactor
- 5. 120 Gallon electric hot water heater
- 6 GE disposal & dishwasher
- 7 3 Slatron Nulone Intercom system
- 8 Wall to wall carpeting
- 9. Rough in for washer & dryer
- 10 Master TV antenna in every home



C-1 1st FLR.



C-1 BASEMENT



C-1 2nd FLR.

**Credits:** Moorefield Enterprises  
Deluca Enterprises, General Partner  
**Architect:** Valter D Neale Associates  
**Construction Financing:**  
Arlington Trust Company  
**Permanent Financing:**  
B. H. M and L, Inc  
**Sales by:** Ross Keith Realty, Inc  
6540 Arlington Blvd.  
Falls Church, Va. 22022  
(703) 533-9000 or

Towntis of Mooreheld Of:ce

(703) 281-1440





# TOWNHOMES OF MOOREFIELD

## DEARBORNE

A Community plan for easy maintenance  
Fully landscaped lots and park areas, with on-site parking

Outdoor recreation features for children separately fenced and complete with playground equipment.

Strolling paths and connecting walkways to all recreational areas

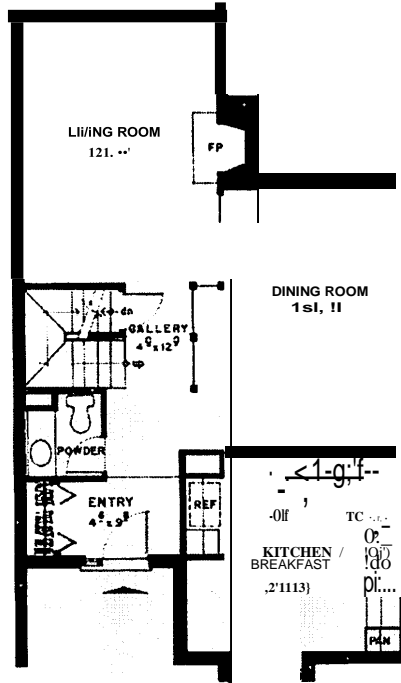
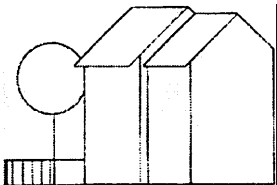
Community swimming pool with diving area, large circular wading pool for children and spacious sun bathing patio.

Community center of Traditional design contains kitchen, large area for entertaining, office and equipment room

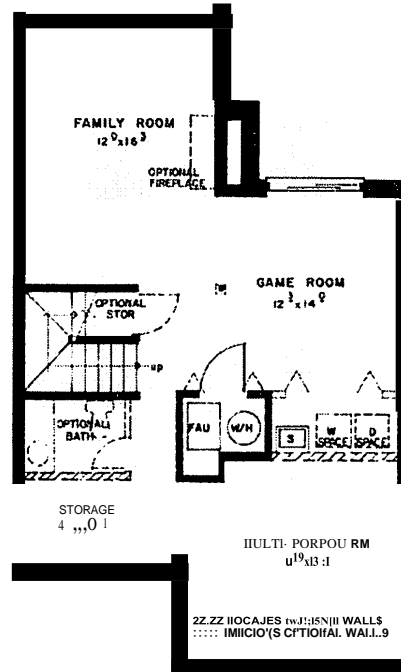
All public park and recreational areas are completely maintained.

Extra Value Features of Townhomes of Moorefield  
Three bedroom Townhomes constructed of brick or stone. Ten distinctive floor plans available. Every home with a fireplace. All utilities underground.

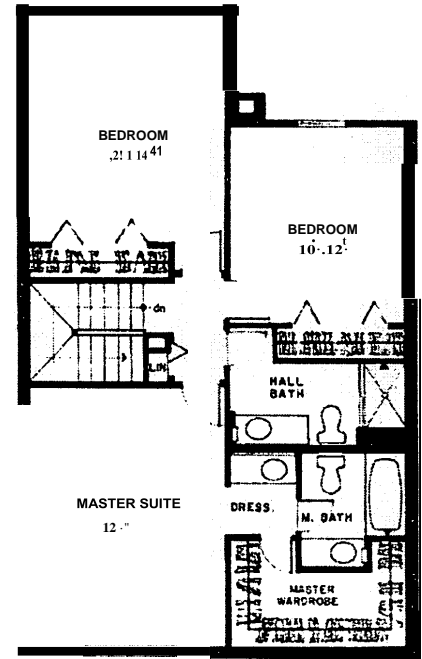
1. Electric central heating & cooling
2. GE self-cleaning oven with exterior exhaust
3. GE 16 cubic foot refrigerator with ice maker
4. GE trash compactor
5. 120 Gallon electric hot water heater
6. GE disposal & dishwasher
7. 3 Stator, NuTone Intercom system
8. Wall to wall carpeting
9. Rough in for washer & dryer
10. Master TV antenna in every home



D-1 1st FLR.



D-1 BASEMENT



D-1 2nd FLR.

**Credits:** Moorefield Enterprises  
DeL1.1ca Enterprises, General Partner  
**Architect:** Waller D Neale Assoc,ares  
**Construction Financing:**  
Arlington Trust Company  
**Permanent Financing:**  
8. H. M and L. Inc  
**Sales by:** Ross Keith Realty, Inc.  
6540 Arlington Blvd.  
Falls Church, Va. 22042  
(703) 533-9600 or  
Townes of Moorefield Office  
(703) 281-1440

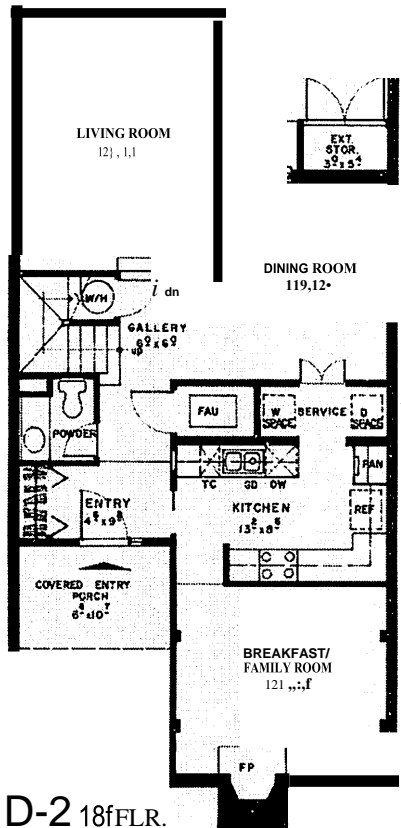
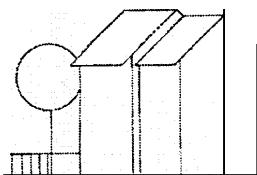
# TO TOWNES OF MCDREFFELD

## DUFFELD

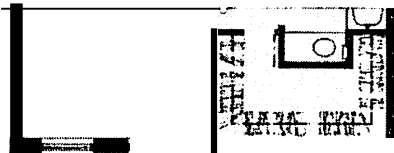
- A Community planned for easy maintenance.
- Fully landscaped lois and park areas, with on-site parking.
- Outdoor recreation features for children separately fenced and complete with playground equipment.
- Stronging paths and connecting walkways to all recreational areas.
- Community swimming pool with diving area, large circular wading pool for children and spacious sun bathing patio.
- Community center of Traditional design contains kitchen, large area for entertaining, office and equipment room.
- AH public park and recreational areas are comp10tely maintained

Extra Value Features of Townes of Moorefield  
Three bedroom Townhouses constructed of brick or stone. Ten distinctive floor plans available. Every home with a fireplace. All utilities underground.

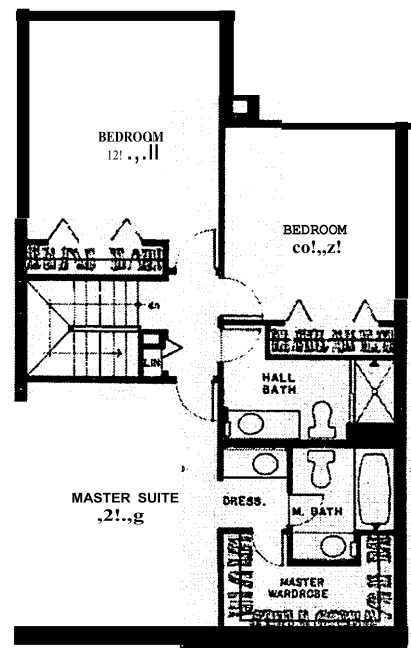
1. Electric central heating & cooling
2. GE self-cleaning oven with exterior exhaust
3. GE 16 cu. ft frost free refrigerator with ice maker
4. GE trasn compactor
5. 120 Gallon electric hot water heater
6. GE disposal & dishwasher
7. 3 Station Nutone Intercom system
8. Wall to wall carpeting
9. Rough in tor washer & dryer
10. Master TV antenna in every home



D-2 1st FLR.



D-2 2nd FLR.



D-2 2nd FLR.

**Credits:** Moorefield Enterprises  
DeLuca Enterprises, General Partner  
**Architect:** Walter D. Neale Associates  
**Construction Financing:**  
Arlington Trust Company  
**Permanent Financing:**  
8. H. M and L, Inc.  
**Sales by:** Ross Keith Realty, Inc.  
6540 Arlington Blvd.  
Falls Church, Va. 22042  
(703) 533-9600 or  
Townes of Moorefield Office  
(703) 281-1440

# TOVNVNESOF MCDREFELD

## ELLIOT

A Community planned for easy maintenance.

Fun landscaped lots and park areas, with on-site parking.

Outdoor recreation features for children separately fenced, complete with playground equipment.

Strolling paths and connecting walkways to all recreational areas.

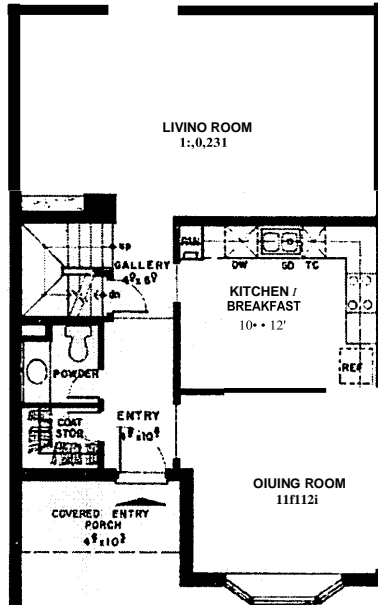
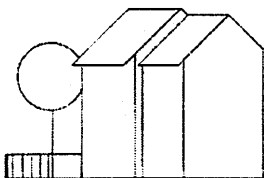
Community swimming pool with diving area, large circular wading pool for children and spacious sun bathing patio.

Community center of Traditional design contains kitchen, large area for entertainment, office and equipment room.

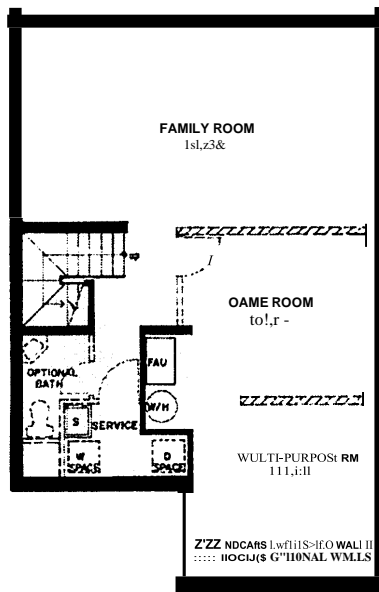
All public park and recreational areas are completely maintained.

Extra Value Features of Townes of Moorefield Three bedroom Townhouses constructed of brick or stone. Ten distinctive floor plans available. Every home with a fireplace. All utilities underground.

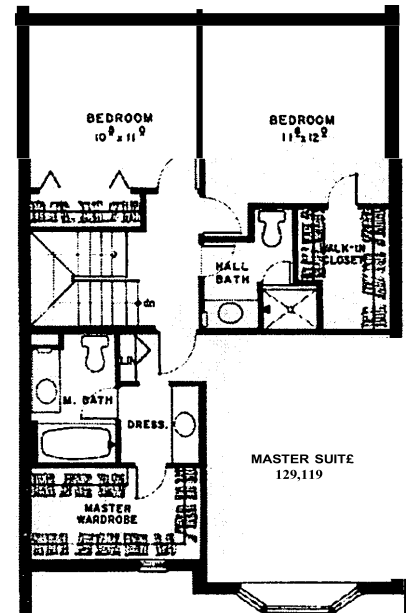
1. Electric central heating and cooling
2. GE self-cleaning oven with exterior exhaust
3. GE 16 cu. ft. frost-free refrigerator with ice maker
4. GE trash compactor
5. 120 Gallon electric hot water heater
6. GE disposal & dishwasher
7. 3 SLTition Nutone Intercom system
8. Wall-to-wall carpeting
9. Rough in for washer & dryer
10. Master TV antenna in every home



E-1 1st FLR.



E-1 BASEMENT



E-1 2nd FLR.

**Credits:** Moorefield Enterprises  
 DeLuca Enterprises General Partner  
**Architect:** Walter D. Neale Associates  
**Construction Financing:**  
 Arlington Trust Co. Company  
**Permanent Financing:**  
 H. Mand L. Inc.  
**Sales by:** Ross K. (Realty), Inc.  
 6540 Arlington Blvd.  
 Falls Church, Va 22042  
 (703) 281-1440

(703) 533-9600 or  
Townes of Moorehead Office

(703) 281-1440

# OWNERSHIP OF MCDREFIELD

## EMERSON

A Community planned for easy maintenance. Fully landscaped lots and park areas, with on-site parking.

Outdoor recreation features for children separately fenced and complete with playground equipment.

Strolling paths and connecting walkways to all recreational areas.

Community swimming pool with diving area, large circular wading pool for children and spacious sun bathing patio.

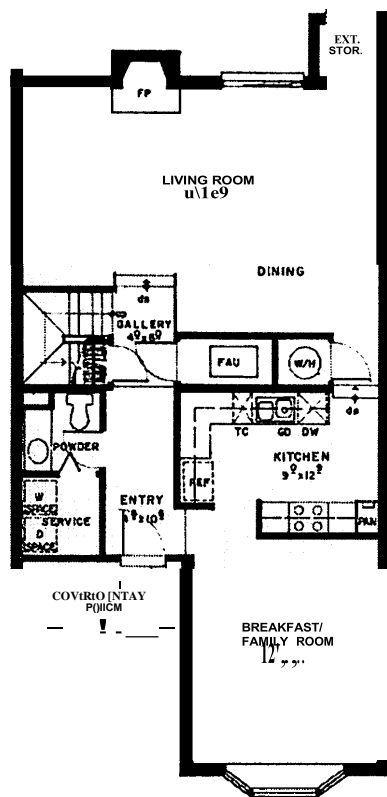
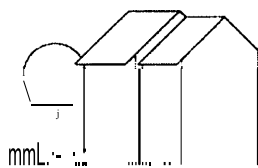
Community center of Traditional design contains kitchen, large area for entertaining, office and equipment room.

All public park and recreational areas are completely maintained.

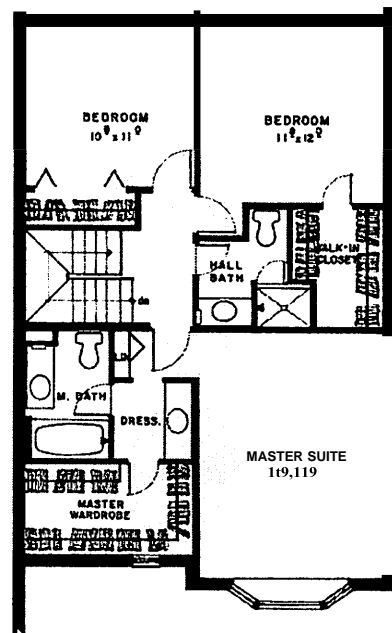
Elira Value Features of Townes of Moorefield Three bedroom Townhouses constructed of brick or stone. Ten distinctive floor plans available. Every home with a fireplace. All utilities underground

1. Electric central heating & cooling
2. GE self-cleaning oven with 9Klerior exhaust
3. GE 16 cu. ft. frost free refrigerator with ice maker
4. GE trash compactor
5. 120 Gallon electric hot water heater
6. GE disposal & dishwasher
7. 3 Station Nutone Intercom system
8. Wall to wall carpeting
9. Rough in for washer & dryer

10. Master Bedroom, antenna, in every home



E-2 1st FLR.



E-2 2nd FLR.

**Credits:** Moorefield Enterprises  
 Deluca Enterprises, General Partner  
**Architect:** Wafer D. Neale Associates  
**Construction Financing:**  
 Arlington Trust Company  
**Permanent Financing:**  
 B. H. Mard L. Inc.  
**Sales by:** Ross Keith Realty, Inc.  
 6540 Arlington Blvd.  
 Falls Church, Va 22042  
 (703) 533-9600 or

Townes of Moorefield Office

(703) 281-1440

# DWAINES OF MOOREFIELD

## FRANKLIN

A Community planned for easy maintenance.

Fully landscaped lots and park areas, with on-site parking

Outdoor recreation features for children separately fenced and complete with playground equipment.

Strolling paths and connecting walkways to all recreational areas

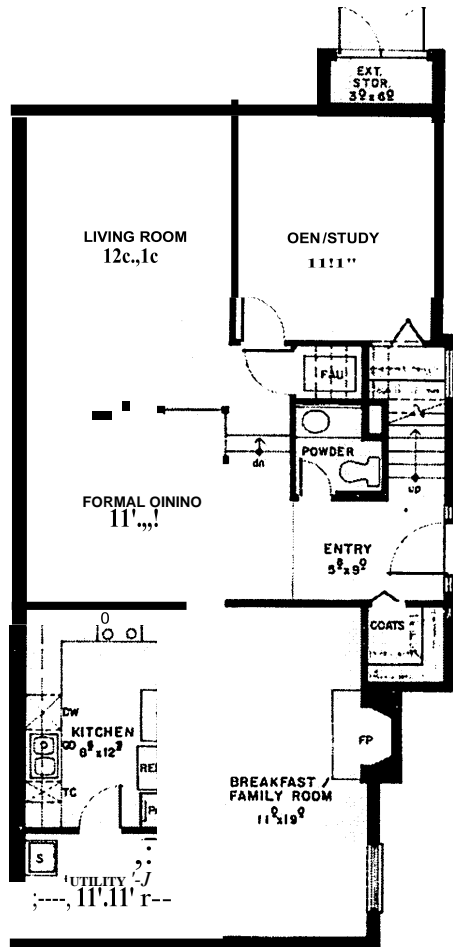
Community swimming pool with diving area, large circular wading pool for children and spacious sun bathing patio.

Community center of Traditional design contains kitchen, large area for entertaining, office and equipment room.

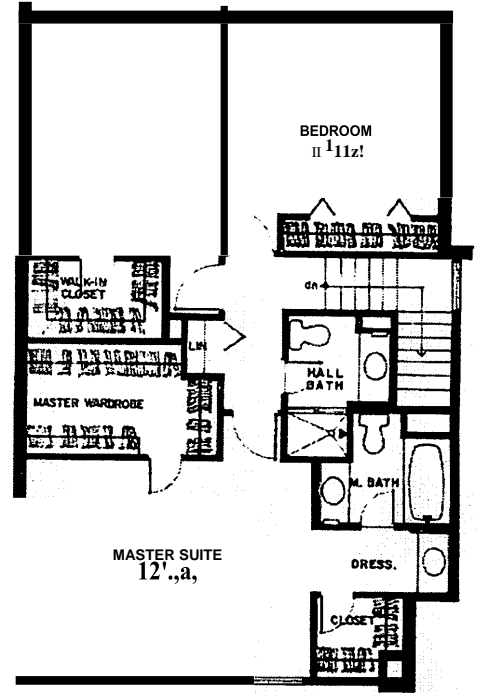
All public park and recreational areas are completely maintained

Extra Value Features of Townes of Moorefield  
Three bedroom Townhouses constructed of brick or stone. Ten distinctive floor plans available every home with a fireplace. All utilities underground.

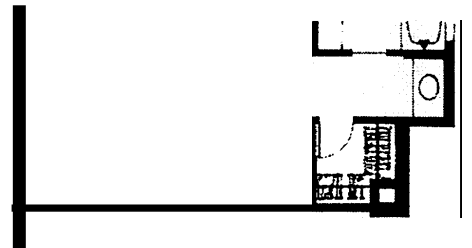
- 1. Electric-central Heating & cooling
- 2. GE self-cleaning oven with exterior exhaust
- 3. GE 16 cu. ft. frost free refrigerator with ice maker
- 4. GE trash compactor
- 5. 120 Gallon electric hot water heater
- 6. GE disposal & dishwasher
- 7. 3 Station Nutone Intercom system
- 8. Wall to wall carpeting
- 9. Rough in for washer & dryer
- 10. Master TV antenna in every home



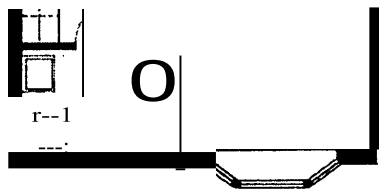
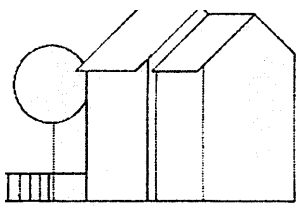
**F-2 1st FLR.**



**F-2 2nd FLR.**



**F-2 ALT 2nd FLR**



**F-2 ALT. 1st FLR.**

Credits: Moorefield Enterprises  
Deluca Enterprises, General Partner  
Architect: Walter D. Neale Associates  
Construction Financing:  
Arlington Trust Company

B. H. M and L. Inc.  
Sales by: Ross Keith Aearly, Inc.  
6540 Arlington Blvd  
Falls Church, Va. 22042  
(703) 533-9600 or  
Townes of Moorefield Office  
(703) 281-1440